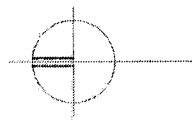


1:20 = 1.2m
 1:50 = 3m
 1:100 = 6m
 1:200 = 12m
 1:500 = 30m
 1:1250 = 75m
 1:2500 = 150m

This drawing is protected by the Copyright, Designs and Patents Act 1988 (Section 47). You may only download and/or print a copy for consultation purposes, to compare a current application with previous schemes and to check whether a development is being carried out or has been completed in accordance with the approved drawings. If you require a copy of the drawings or other material for any other purpose you will need to obtain the prior permission of the copyright owner.

VALE OF WHITE HORSE
 DISTRICT COUNCIL
 RECD 06 AUG 2008
 CORPORATE POSTAL
 SERVICES - 2

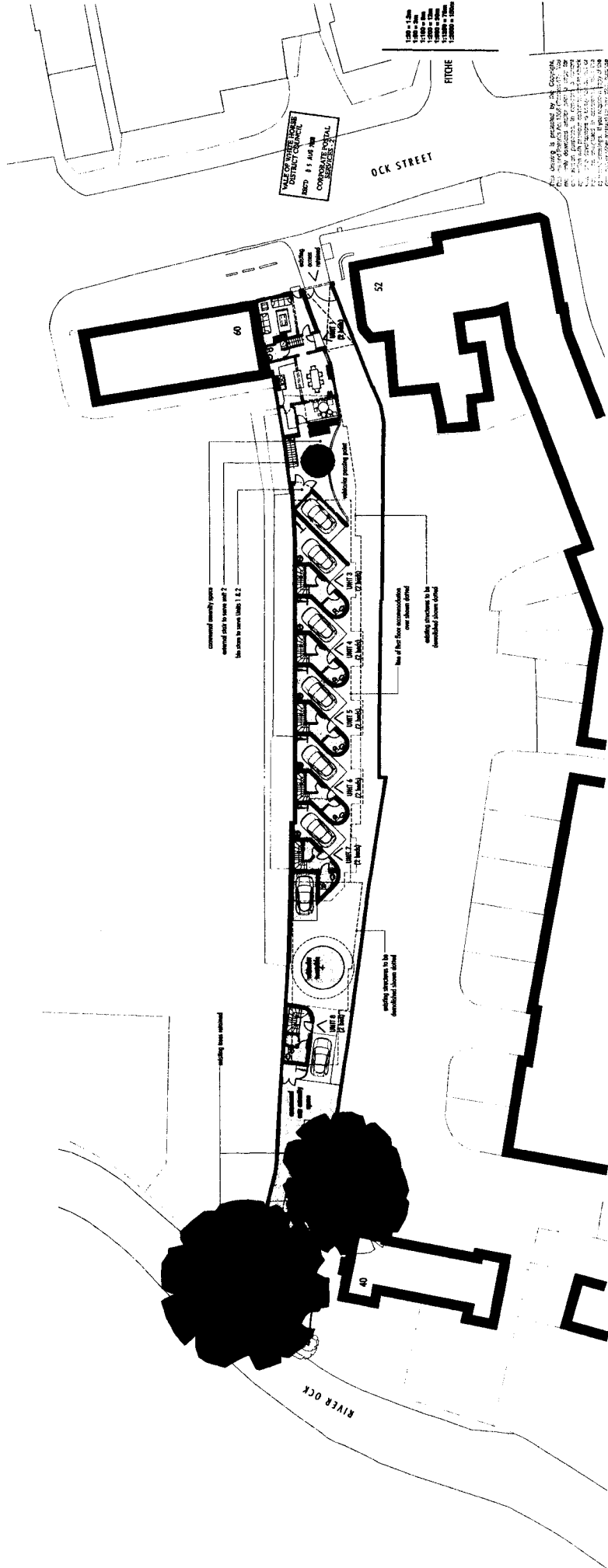
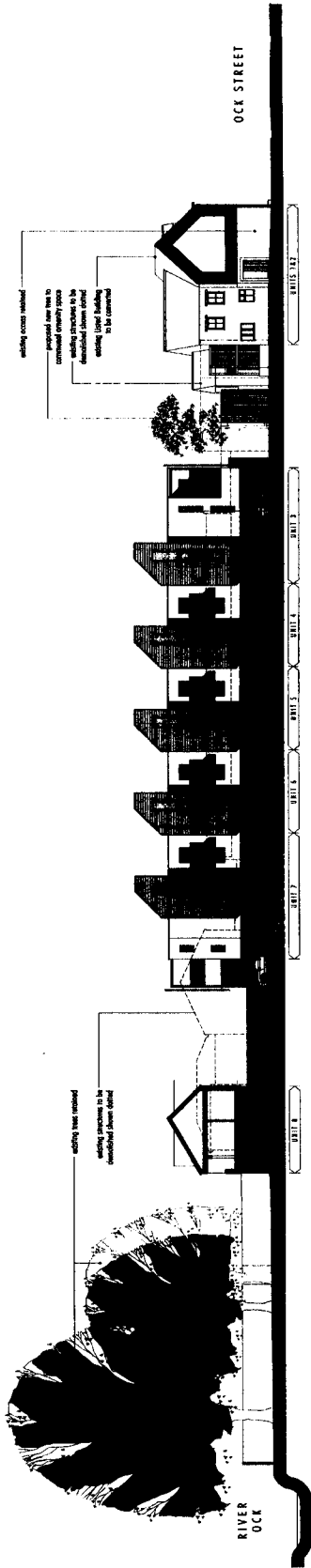


AB6/8678/7

09/01359/FUL



The ANDERSON ORR Partnership The Studio, 70, Church Road, Wheatley, OXON, OX33 1LZ t: 01845 873936		client EDGESTONE HOMES
scale 1:1250	date JULY 08	drawing LOCATION PLAN
drawn TW	job no. 08048	rev 08048-P01
PROJECT PROPOSED RESIDENTIAL DEVELOPMENT, 54 OCK STREET, ABINGDON, OXON		

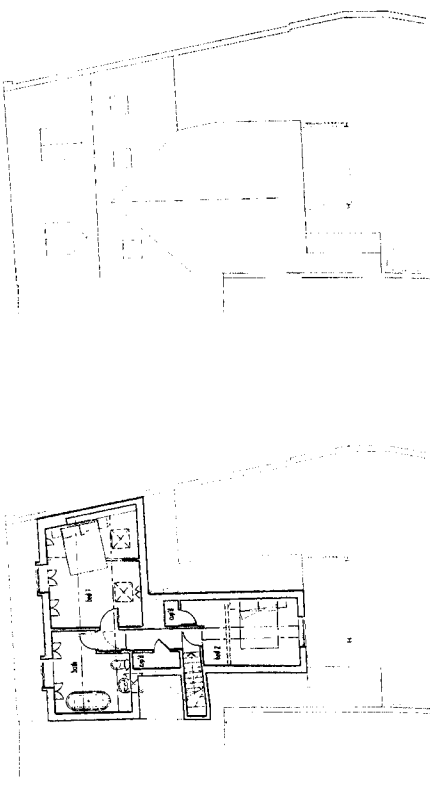


ASG/190721/7
08/10/2019/KL

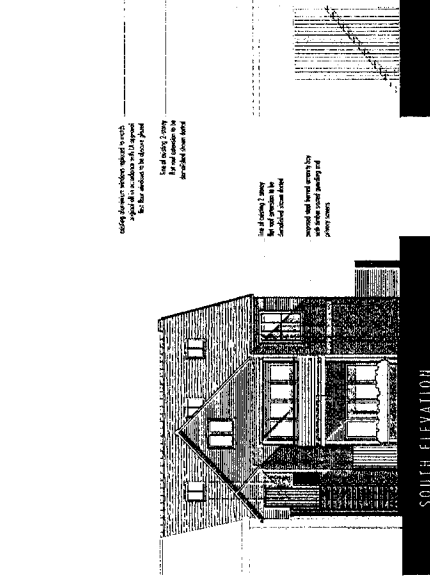
DATE	1:200	DATE	JULY 08
PROJECT	The Anderson OER Partnership The South, 70, Church Road, Wimbury, OXON, OX2 1Z, 01865 872908	CLIENT	EDGESTONE HOMES
SCALE	AS PROPOSED	DATE	08/04/19
PROJECT	PROPOSED RESIDENTIAL DEVELOPMENT, 54 OCK STREET, ABINGDON, OXON	DATE	08/04/19

All dimensions to be checked on site and
checked against the ground above
before construction. The ground above
may vary from the ground shown on the
plans and should be checked with the Building
Regulations. Dimensions shown in brackets are
Copyright reserved.

APPENDIX 1



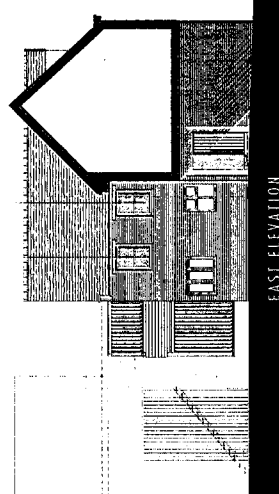
ROOF PLAN



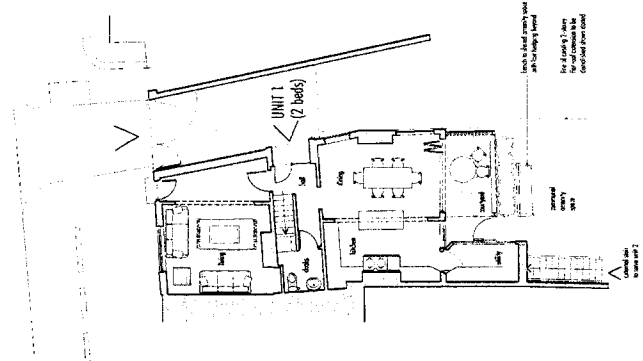
SOUTH ELEVATION

Vertical finished surface shall be smooth
and shall be finished with 1/4" gypsum
board for exterior finish.

Lead panels shall be
set in place and be
finished with lead
panels and lead areas to
be finished with lead
panels.

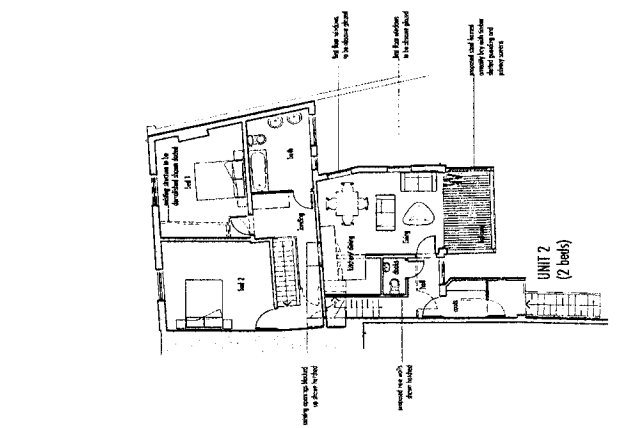


EAST ELEVATION

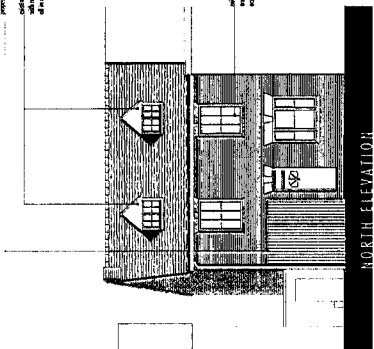


GROUND FLOOR PLAN

All dimensions must be indicated on the end
of the dimension line. The word "DIM."
should be indicated by the dimension line.
Application: For example, 10' x 10' x 10'
Copyright Reserved



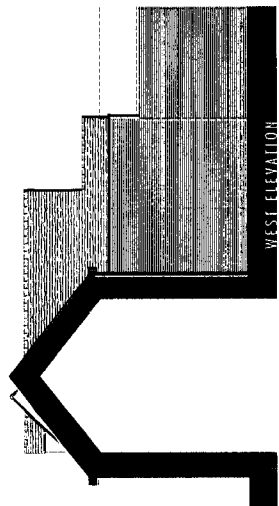
FIRST FLOOR PLAN



NORTH ELEVATION

Vertical finished surface shall be smooth
and shall be finished with 1/4" gypsum
board for exterior finish.

Lead panels shall be
set in place and be
finished with lead
panels and lead areas to
be finished with lead
panels.



WEST ELEVATION

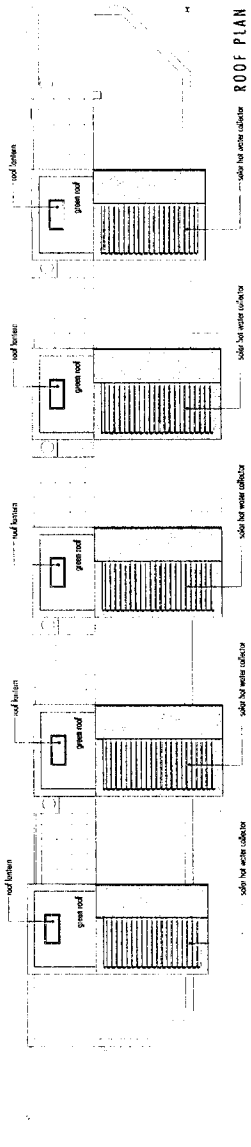
1200 x 1200
1200 x 1200
1200 x 1200
1200 x 1200
1200 x 1200

VILLAGE OF WINTER HARBOR
DISTRICT COUNCIL
RECEIVED BY 6/6/2008
COMMUNITY DEVELOPMENT
SERVICES

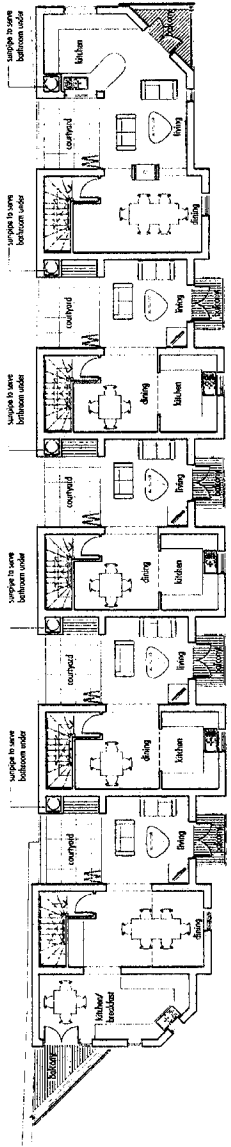
AR 6/18/2008
08/08/08

The ANDERSON ORR Partnership		EDGESTONE HOMES	
PROJECT NO.	PROPOSED RESIDENTIAL DEVELOPMENT, 54 LOCK STREET, ABINGDON, OXON	DATE	JULY 2008
SCALE	1:100	DRAWN BY	UNITS 1 & 2
		CHECKED BY	FLOOR PLANS & ELES.
		DATE	08/08/08

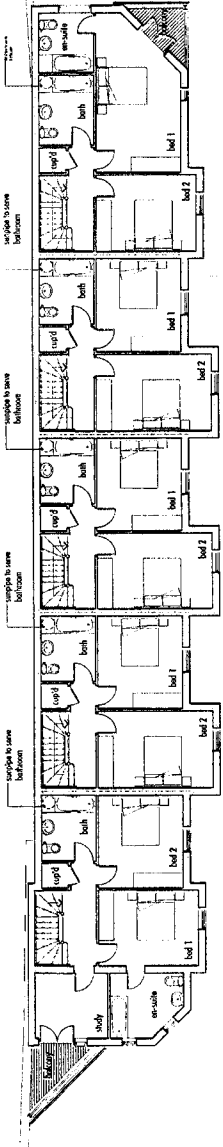
APPENDIX 1



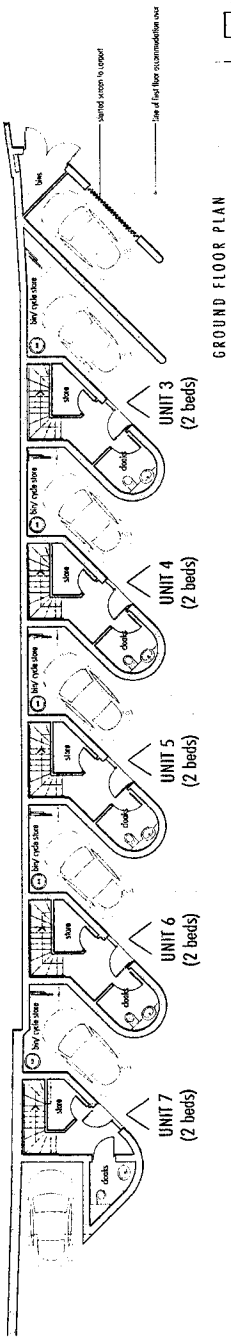
ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN

VALLEY VIEW POWER
PLANT COUNCIL
REC'D 15 MAY 2006
CORPORATE POSTAL
DIVISION 13-7

10
9
8
7
6
5
4
3
2
1

APG / 18022 / 17
09/01/2009 / AUT



10
5
0

1028 = 4.2m
1100 = 4.6m
1200 = 5.0m
1300 = 5.4m
1400 = 5.8m
1500 = 6.2m
1600 = 6.6m

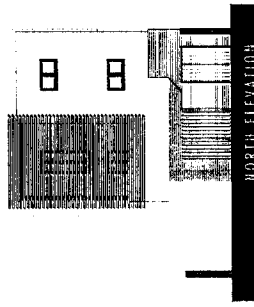
DATE	11/00	EDGESTONE HOMES
BY	JULY '08	
PROJECT	THE ANDERSON ORR PARTNERSHIP	
UNIT	UNIT 3 - 7	
TYPE	TW	
DESIGNER	EDGESTONE HOMES	
NO.	080148-P04	

The Anderson Orr Partnership
The Studio, 55 Church Lane, Newport, Gwent NP23 5PP
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT,
54 OCK STREET, ABINGDON, OXON

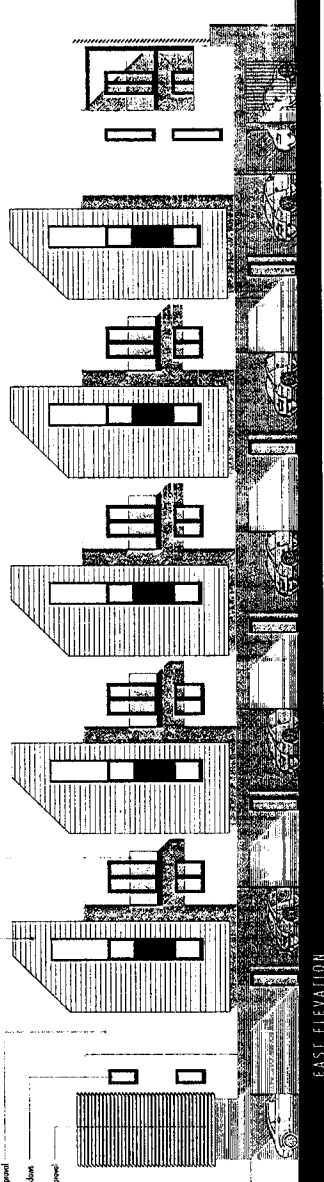
APPENDIX 1

All dimensions must be checked on the ground and compared with the drawings. Dimensions should be measured to 2m vertical height and checked for conformance with the building for use in areas not indicated otherwise.
Copy 2/1 - 10/08/09

placed pursuant to project inclusion
 location of building in L.A. approved
 when needed to L.A. approved
 polychrome possible material architectural finishes
 facing brackets to L.A. approved



NORTH ELEVATION

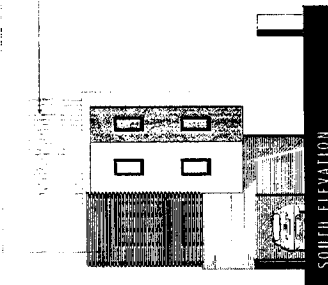


EAST ELEVATION

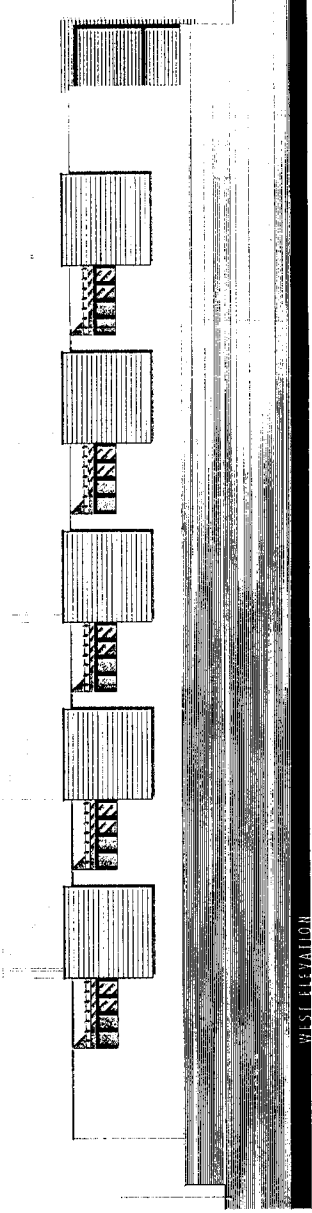
UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5 UNIT 6 UNIT 7

general floor level shown
 finish to basement
 solid hot water collection
 to specific flooring conditions

exterior finish wall material
 and approved where necessary



SOUTH ELEVATION



WEST ELEVATION

UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5 UNIT 6 UNIT 7

WILEY OF WHITEHORSE
 DISTRICT COUNCIL
 1001 91 107 708
 CORPORATE POSTAL
 ADDRESS 2

1:200 = 1.2m
 1:300 = 3m
 1:500 = 5m
 1:1000 = 10m
 1:2000 = 20m
 1:3000 = 30m

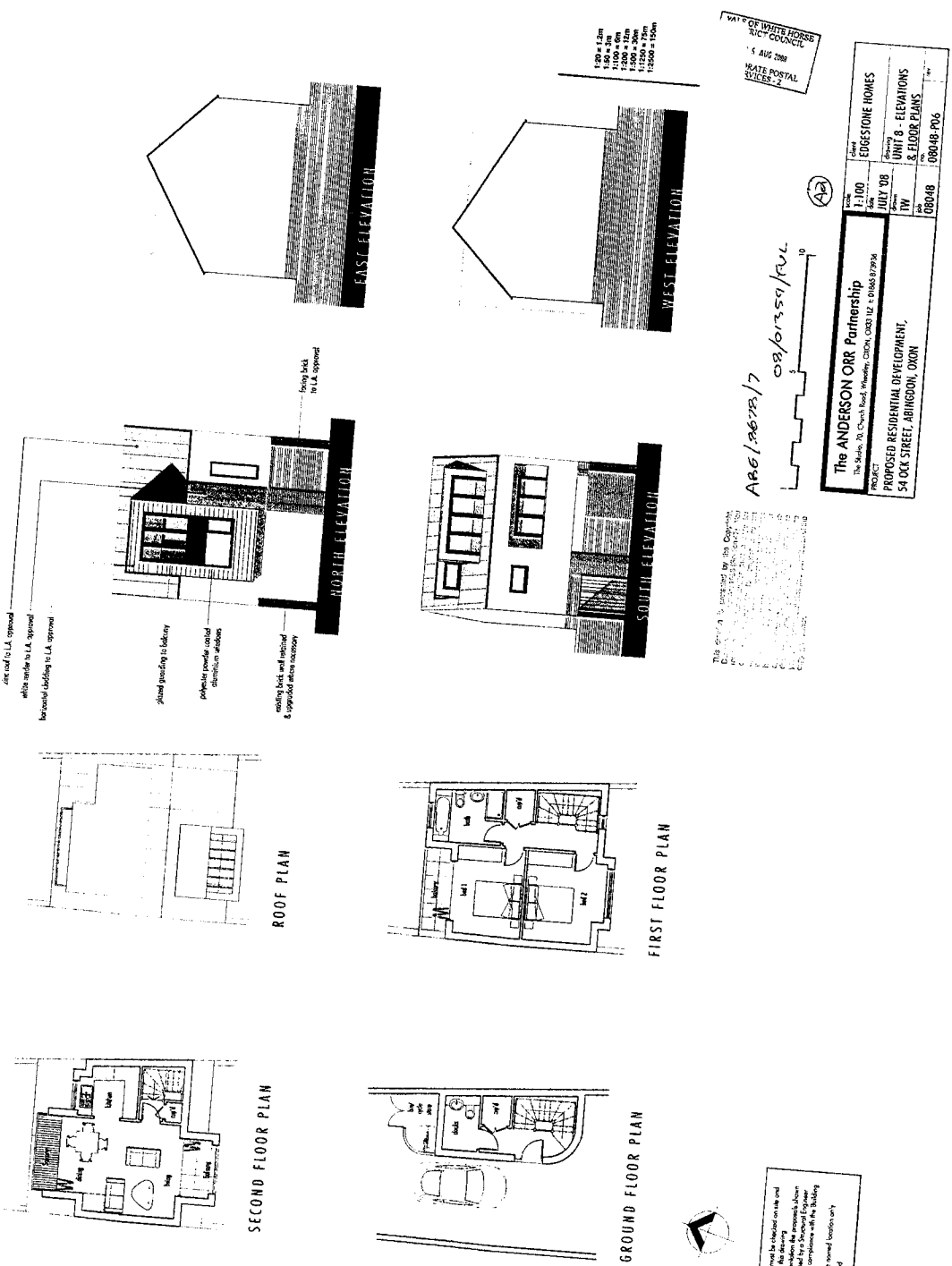
ABB 190221/7
 03/10/13 15/4/14

10
 0
 10

APPENDIX 1

The ANDERSON ORR Partnership The Andros, 20, Church Road, Wokingham, RG40 2JZ, 01488 827826		SCALE 1:100	PROJECT EDGESTONE HOMES
PROJECT PROPOSED RESIDENTIAL DEVELOPMENT, 54 OCK STREET, ABINGDON, OXON		DATE JULY 08	DRAWING NO. UNITS 3 - 7
		DRAWN BY TW	DRAWING TITLE ELEVATIONS
		DRAWING NO. 100046	PROJECT NO. 08046-PDS

All dimensions, not to be taken on site and
 not to be used for the design of any
 structure. They are for information only.
 They should be checked by a Chartered Engineer
 and checked for compliance with the Building
 Regulations. For use in price received location only.
 Copyright reserved



APPENDIX 1

APPENDIX 1

THE ANDERSON ORR F

DESIGN STATEMENT

This Design Statement aims to provide a brief background to the above site and surrounding context, and describe the design philosophy. It should be read in conjunction with the drawings submitted.

THE DESIGN COMPONENT

The following section will outline the design principles and concepts that have informed the proposed scheme – these can be defined in terms of the amount, layout, scale and appearance of the development.

AMOUNT

The proposed scheme seeks to create 8 number 2 bedroom units on the site of the now redundant former printworks on Ock Street in the centre of Abingdon. The development is broken down into 3 distinct elements; the conversion of the Listed Building to the front of the site directly off Ock Street into 2no. units, the introduction of a new building comprised of 5no. 'duplex' style apartments to the middle of the site and a further single, detached 'duplex' apartment to the rear of the site.

The site is approximately **0.0875** hectares in size with a total of **794m²** of accommodation proposed. As part of the application, an existing, incongruous, single-storey extension to the Listed Building is to be demolished together with a number of substantial structures to the rear of the site. The existing gross internal floor area currently on the site totals **811m²**.

Car parking spaces will be provided on a **1:1** basis, and will be covered and secure.

LAYOUT

The layout of the proposed scheme is somewhat complex and has evolved through the highly challenging constraints of the site.

The principal concern has been to adopt a sympathetic approach to dealing with the Listed Building to the front of the site. As such the new building has been sited away from The Listed Building with an open, shared communal amenity not only providing a 'green buffer' between old and new but also creating a sense of place and space on entry.

A further key consideration has been the role of the car within the site. Whilst the existing 'undercroft' access way has been retained a unique approach has been adopted to ensure motor vehicles can both enter and exit the site safely in a forward gear. The inclusion of a vehicular turntable is an innovative though entirely viable solution to what is undoubtedly a constrained site.

Where parking spaces cannot be accommodated in a perpendicular fashion an 'echelon' formation has been provided. These spaces have been angled at 45° in such a way as to ensure the user must rotate their vehicle through 180° prior to parking to ensure the vehicle will be facing the correct direction on exiting the site.

Each unit is served at ground floor by an entrance 'pod' housing the stair, cloakroom and storage cupboard with the majority of units benefitting from direct access to their parking space. In addition,

individual cycle storage has been provided through the inclusion of a vertical stand together with adequate space for bin storage. The positioning of the pods adjacent to the individual parking spaces means that the car does not dominate the site but is recessive and partially hidden from view when travelling through the site.

The units forming the principal block incorporate an 'upside-down' design with the bedroom accommodation to the first floor with the principal living accommodation over. The open-plan layout of the second floor is focused around open terrace courtyards which coupled with projected balconies provide valuable private amenity space whilst creating light, airy double and triple aspect living accommodation throughout the day.

Turning to the Listed Building, the principal objective has been to minimize the impact upon the historic fabric of the building. The incongruous 2-storey rear extension is to be demolished exposing the existing, original rear projection. Existing historic openings are to be retained and new openings and new structure kept to an absolute minimum.

The division of the building itself is done in such a way as to reduce the amount of alteration work to be carried out ensuring the impact upon the historic fabric is kept to a minimum. The ground and first floors are given over to Unit 1 and the rear projection at first floor and second floor make up Unit 2. The existing stair is retained to serve Unit 1 with a new external stair included to access Unit 2.

A lightweight projected balcony is proposed to the rear of The Listed Building in order to provide an external amenity deck to Unit 2 whilst offering cover to the rear terrace serving Unit 1. This has been designed as a visually recessive, lightweight structure and will be perceived very much as a temporary addition to the original, historic building. The units open out onto the rear amenity via existing openings which will incorporate large folding, sliding screens.

SCALE

The scale and form of the proposals have been sensitively designed to integrate the differing relationships to the existing Listed Building, the neighbouring properties and the wider context. The scheme aims to create a dynamic yet sympathetic contemporary development, appropriately scaled and designed to enhance the site and surrounding context.

As outlined earlier, the proposed scheme is made up of 3 elements; the existing Listed Building, the principal block and single detached unit to the rear. The height, scale and mass of the central block forming the principal accommodation has been carefully considered in terms of its relationship with the adjacent buildings including the Royal Mail Depot to the West and Brewery Development to the East.

With a diverse mix of surrounding heights ranging from two-storey elements to the Royal Mail Depot through to four storey to the Brewery Development an appropriate scale is adopted for the principal block. Care has been taken to position this built form away from the residential development to the east ensuring a minimum distance of 12 metres from the rear amenity spaces serving these units and 21 metres to the actual neighbouring properties themselves.

South-facing mono-pitch projections dissect the main form, breaking up the elevation and providing visual markers for each residential entrance. To the Royal Mail Depot to the west these horizontally clad elements are set back from the boundary and are therefore recessive in both form and material.

The rear most element comprising of Unit 8 is set at a reduced height ensuring the development as a whole steps down the site with the garden to the rear retained as a shared communal amenity space. This rear unit is set at two-and-a-half storey with the living accommodation within the roof space to make for a compact, efficient use of volume.

The overall aim of the scheme therefore seeks to provide an appropriately scaled proposal for this site, whilst at the same time respecting both the existing Listed Building to the front of the site and the neighbouring buildings. We would assert that that the mass and scale of the proposed application has been carefully considered in order that the proposed scheme does not appear dominant and overbearing, but successfully mediates between the different scales and use of the surrounding context.

LANDSCAPING

Landscaping plays a major role within the scheme, with a considered contemporary approach adopted throughout. A carefully selected arrangement of permeable surfaces and soft planting has been applied to boundaries and route ways, with the landscaping proposals designed to carefully integrate with the built forms to create a consistent feeling of rhythm and space to areas of private and semi-private amenity. As such the proposals have been designed to complement and enhance the proposed built forms by providing welcoming and usable shared communal spaces, defined semi-private zones and clearly demarcated route ways throughout the scheme.

In terms of amenity, the scheme has been designed in order to maximise the amount of external useable space. Each apartment is provided with private, outdoor amenity, including roof terraces complemented by the use of projected balconies, while the existing rear open area has been grouped together to form one meaningful space between the blocks for all the enjoyment of all residents.

As previously described, a principal concern has been to adopt a sympathetic approach to the Listed Building to the front of the site. As such the new building has been sited away from The Listed Building with an open, shared communal amenity not only providing a 'green buffer' between old and new but also creating a sense of place and space on entry. A new tree is proposed to this area to help soften the new building, provide a visual marker at the front of the development and assimilate the new buildings into the context.

The rear courtyard to include the vehicular turntable is to be surfaced in a permeable material with the 'undercroft' to Unit 8 sited to the eastern boundary to provide a view through to the green space beyond as you move through the site ensuring a visual connectivity through the scheme.

Turning to the Listed Building, the rear external Living spaces encompass full height glazed doors, with projecting first floor balconies with steel framing creating a definable zone of defensible semi-private space. A dwarf wall to Unit 1 with low-level hedge in front gives definition and clarity between the semi public and private amenity spaces, giving the user a clear sense of ownership.

APPEARANCE

In terms of choice of aesthetics to the new building elements, a contemporary approach is proposed. The architectural language of the scheme seeks to take reference from that of the surrounding context picking up on both the traditional and modern forms of the adjacent terraces and commercial buildings whilst adopting a more contemporary architectural language to the facades.

A restricted and controlled palette of sympathetic, yet modern materials is proposed, which takes reference from several more contemporary styled schemes in the surrounding area, with brick, render and horizontal cladding being the main materials. This choice whilst unashamedly contemporary in aesthetic still retains a domestic scale.

The architectural approach has been carefully considered, with the composition of elements designed to break up the principal facades into a series of distinct components, which bring relief and layering to the elevations, creating hierarchy whilst facilitating the architectural space beyond. The new built elements are divided into three distinct elements, separated in both form and material selection.

The use of brickwork to the ground floor 'pods' not only seeks to mirror the materials of the neighbouring buildings, but also creates a robust base to the building. Crisp white render to the main body of the building relates to a change in scale and provides a lighter, visually recessive element. The contemporary architectural approach is also reflected in the size and proportion of openings, with simple, clean, punch hole windows and doors. Where appropriate, a staggered arrangement is suggested, to break up the monotonous uniformity common in many of the surrounding buildings.

Rhythm and symmetry also play a role in this architectural arrangement. A primary aim is to provide visual interest alongside a balanced approach with the main block punctuated by contrasting horizontally cladded projections to include a striking vertical band of glazing. The inclusion of south-facing mono-pitch roof slopes offers an excellent opportunity for the inclusion of a significant array of solar panelling.

Living spaces encompass full height glazed doors, with rear courtyard terraces and projecting second floor balconies creating a valuable external amenity space. Bedrooms, kitchens and bathrooms are identified by simple punch hole windows, whilst full height glazing is introduced to the top floor living spaces to maximise interaction to these facades.

Further to the general design and layout premise, which seeks to mitigate against potential overlooking issues, external spaces and areas of south-facing glazing are to be fitted with slatted screens to act as either 'brise-soleil' shades or privacy screens. These elements provide not only shielding but also an additional layer of semi-transparency to facades.

The development is seen as a chance to build upon the recent precedents for high quality contemporary developments in the area including the recent proposals for The Old Gaol redevelopment. We would therefore maintain that the appearance of the proposal whilst contemporary in architectural approach, carefully and respectfully responds to the surrounding context, drawing on the scale, form, rhythm, and proportion of the building elements, to create a scheme that sits harmoniously with its adjoining buildings.

APPRAISING THE CONTEXT

The next section will demonstrate the steps taken to appraise the context of the proposed development. It will explain the context in which the proposal will sit, and how this information has informed the development of the application. This appraisal has been undertaken by following a design process, which includes: assessment, involvement, evaluation, design and use.

ASSESSMENT

The make up of this part of Abingdon is a varied mix of residential terraces, car parks, commercial offices and retail facilities. The architectural make up of this area is as varied as its uses, with a mixture of historical terraces, post modern retail facilities and other twentieth century commercial and residential properties.

As well as the original historic buildings found in Abingdon, the Listed Building being one such example, the urban fabric in Abingdon is dominated by a mix of typical 1960's and 1970's style development interspersed with a modicum of more recent contemporary development that has emerged over the last 5 – 10 years. It is the precedent set by these buildings and recently approved proposals for ambitious, high-quality modern design that the proposal seeks to build upon. We believe the proposed development can compliment these recent developments and strengthen the character of both the immediate vicinity and Abingdon as a whole.

APPENDIX 1

INVOLVEMENT

The current proposals have been developed in consultation with The Vale of White Horse Planning Department, The John Phillips Planning Consultancy and The Anderson Orr Partnership Chartered Architects, with the feedback received, carefully considered and integrated into the proposed design.

EVALUATION

As previously noted the development proposal has been carefully designed in order to enhance the proposed site and its surroundings, mitigate any potential overlooking issues, and produce a sensitive, high quality scheme.

DESIGN

We would maintain that by thorough assessment of the site and the surrounding context and the considered evaluation of all the information collected we have been able to produce a scheme that is thoughtfully designed, inclusive and will positively contribute to and enhance its surroundings.

USE

As noted in the accompanying letter from JPPC, the proposed scheme seeks to create 8 number 2 bedroom residential units on the site of the now redundant former printworks on Ock Street in the centre of Abingdon. We would maintain that this is an appropriate use for this site given surrounding context, and furthermore will provide units of the type and size that will contribute to the diversity and demands of the local market.

THE ACCESS COMPONENT

In line with the requirements the following access component of this statement relates only to "access to the development" and therefore does not extend to internal aspects of the building.

Alongside the issues of layout, sits the matter of access to the site, and the building itself. Access is not merely a matter of permeability and legibility but also security. As a result, the proposed scheme seeks to address these somewhat conflicting issues to ensure that the proposal is both accessible but also secure.

General access to the site will remain unaltered with the existing 'undercroft' accessway retained.

As previously described the inclusion of a vehicular turntable will ensure motor vehicles can both enter and exit the site safely in a forward gear. Where parking spaces cannot be accommodated in a perpendicular fashion an 'echelon' formation has been provided. These spaces have been angled at 45° in such a way as to ensure the user must rotate his vehicle through 180° prior to parking to ensure the vehicle will be facing the correct direction on exiting the site.

Each unit is served at ground floor by an entrance 'pod' housing the stair, cloakroom and storage cupboard with the majority of units benefitting from direct access to their parking space. In addition, individual cycle storage has been provided through the inclusion of a vertical stand together with adequate space for bin storage.

Additional external bin storage is provided to serve Units 1 & 2.

A designated rubbish collection point will be provided on Ock Street.

APPENDIX 1

The proposed site is ideally located in terms of access to public transport, with a major bus stop directly opposite the site providing buses directly into Oxford City Centre and the train station. Local shops and supermarkets lie on the doorstep with cycle lanes connecting into the central system. In this regard the site is highly sustainable.

Access for emergency vehicles will be via Ock Street. Larger fire vehicles will be able to access the site from the adjacent car parks or fire hydrants could be provided within the site if required.

SUSTAINABILITY & SERVICES

A key consideration in the design process has been to create an 'Eco-friendly' development. A principal objective has been to incorporate sustainable elements within the scheme and for these to directly inform and help generate the design.

BUILDING FABRIC AND CHOICE OF MATERIALS

The building will be able to demonstrate low energy use over its entire life cycle. To assist in minimising energy consumption and to provide more comfortable conditions within the building, the building fabric will be used to enhance the environmental performance wherever possible. The construction of the new building will far exceed current standards and will by definition have significantly improved energy efficiency levels relative to the existing buildings.

Materials generally have been selected for their sustainability, robustness and longevity. At the detailed specification stage, consideration will also be given to the sustainability of chosen materials and the energy used in their production. Where possible materials will be obtained locally.

NATURAL VENTILATION

The buildings will be naturally ventilated with openable windows and trickle ventilation. Living areas will have large expanses of openable glazing to allow for controlled natural ventilation with mechanical ventilation provided to the kitchens and bathrooms and other parts that cannot be adequately served by natural ventilation.

NATURAL DAYLIGHT

It is a key objective to maximise the use of natural light and form links to the outside. This is achieved by incorporating larger expanses of glazing to living areas, and through orientation and positioning of the floor plan layout. Externally fitted 'brise soleil' screens will offer protection against the harsh summer sun to south facing fenestration.

SOLAR HOT WATER COLLECTORS

As previously described the inclusion of south-facing mono-pitch roof slopes to the horizontally clad projected elements offers an excellent opportunity for the inclusion of a significant array of solar panels.

GREEN ROOFS

The areas of flat roof to the main block offers an excellent opportunity for the inclusion of green roofs.

SUNPIPES

APPENDIX 1

As previously described the principal living accommodation benefits from large areas of openable glazing however the bathrooms are positioned internally within the floor plan and therefore cannot be provided with windows. These will, however be served by sunpipes filtering natural light down from above. These will reduce the need for electrical lighting during daylight hours. In addition, roof lanterns are proposed to serve the internal stairwells.

RAINWATER HARVESTING

The second floor roof terrace will create a natural collection point for rainwater. The proposal will utilize this water for the maintenance and upkeep of the grounds and gardens together with other recognized 'grey water' practices including car washes.

CONCLUSION

The site on the now redundant former printworks on Ock Street provides an excellent development opportunity that will not only respect the existing Listed Building and improve the immediate site but contribute to the diversity and character of the wider context. This project is seen as a chance to build upon the recent precedents for high quality contemporary developments in the area.

The proposed development has evolved through careful consideration of the site and its urban context, and consultation with the Local Authority. As a result we would maintain that this is a forward thinking though sensitive scheme that respects its surroundings.

We would therefore conclude that the proposal in terms of its form, scale, height, language, use and materials is an appropriate development that will enhance this site.

APPENDIX 1

McCoy Associates Chartered Town Planners

54 New Street □ Henley on Thames □ Oxon RG9 2BT □ Tel: 01491 579113
Fax: 01491 410852 www.mccoyassociates.co.uk email denis@mccoyassoc.co.uk

4 September 2008
Your ref **ABG/8678/7**

For the attention of Alison Blyth

Deputy Director (Planning and Community Strategy)
The Vale of White Horse District Council
PO Box 127
The Abbey House
ABINGDON OX14 3JN

email and post

Dear Sir

**Conversion and extension of existing frontage to provide 2 x 2-bed flats, redevelopment of land at rear following demolition of industrial buildings with 6 x 2-bed dwellings including undercroft parking and storage
54 OCK STREET, ABINGDON**

This scheme was discussed at the meeting of the Architects Panel on the 3 September and you have requested my design comments.

This is one of the most ingenious proposals to have been offered to the Council for many years. In effect it reinterprets the rows of cottages at right angles to the street which were a medieval feature, and when seen in glimpses over the Post Office depot its highly articulated form should prove an effective foil to the bulk of the nearest block on the brewery development.

In itself it promises to create a very interesting place in which to live, and the shared gated access and turntable prompt the expectation that a residents management company would be put in place, so ensuring these features are well maintained.

I recommend that in design terms this application should be supported unreservedly.

Your papers are being returned with the postal copy of this letter.

Yours faithfully

Denis McCoy

McCOY ASSOCIATES

This letter refers to material displayed on the Council's website at 1 September.

APPENDIX 2

Denis F McCoy DiplAr

Christopher R Bake

Elizabeth Chan-A-Sue BSc(Hons) DipTP MSc MRTPI MIQ

McCoy Associates Limited incorporating Simon Eve Associates
company registered in England no 4457420
VAT No. 363 3525 59